

**Item 5.****Development Application: 12-36 Caroline Street, Redfern - D/2019/797****File No.:** D/2019/797**Summary****Date of Submission:** 26 July 2019**Applicant:** Mr T Gough**Architect/Designer:** Rosselli Architects**Owner:** City of Sydney**Cost of Works:** \$260,000.00**Zoning:** RE1 Public Recreation - Permissible with consent.**Proposal Summary:** The development application seeks consent for alterations and additions to the Redfern Community Centre, including the reconfiguration of the outdoor amphitheatre's steps, the installation of an entry bridge, and minor changes to the building layout and openings.

The application is referred to the Local Planning Panel (LPP) for determination due to the land owner and applicant being the City of Sydney.

The application was notified for a period of 14 days, between 29 July 2019 and 13 August 2019. One submission was received, which sought to clarify the proposed scope of changes.

No design changes were requested during the assessment. However, one revised set of drawings was submitted to better display the proposed scope of demolition.

**Summary Recommendation:** The development application is recommended for approval, subject to conditions.

**Development Controls:**

- (i) Sydney Local Environmental Plan 2012 (Gazetted 12 December 2012, as amended)
- (ii) Sydney Development Control Plan 2012 (in force on 12 December 2012, as amended)

**Attachments:**

- A. Recommended Conditions of Consent
- B. Selected Drawings

## **Recommendation**

It is resolved that consent be granted to Development Application No. D/2019/797 subject to the conditions set out in Attachment A to the subject report.

## **Reasons for Recommendation**

The application is recommended for approval for the following reasons:

- (A) The proposed development is consistent with Section 4.15 of the Environmental Planning and Assessment Act 1979, in that it achieves the objectives of the planning policies for the site and does not result in adverse environmental impacts for the reasons outlined in this report.
- (B) The development is consistent with the objectives of RE1 Public Recreation zone in that it will improve the amphitheatre and surrounding area, and therefore promote access to recreational facilities in the public domain.
- (C) The proposal aligns with the established and desired future character of the heritage conservation area.
- (D) For the reasons above and as outlined in this report, the proposed development is in the public interest, subject to conditions.

## Background

### The Site and Surrounding Development

1. A site visit was carried out by staff on 5 August 2019.
2. The site is rectangular, with area of approximately 2782sqm. It has frontages to Caroline Street, Hugo Street and Louis Street.
3. A three storey, former industrial building is located within the site. Known as the 'Redfern Community Centre', it contains rooms for performances, meetings, music recording, child care and other related community uses.
4. The wider site contains public recreation facilities, including an outdoor amphitheatre, playground equipment and an open grass area. The 'Welcome to Redfern' art installation is also positioned in the south-west corner of the site.
5. The land falls by approximately 1.8m from south to north, and 1.5m from east to west.
6. The surrounding area is predominately residential. To the north and south are rows of terrace houses, mostly dating from the Victorian period. To the east is the Pemulwuy Project, which when complete will house a mix of residential, retail and cultural uses. To the west is Yellomundee Park, and more terrace houses.
7. The site is not a heritage item, but is located within Darlington Conservation Area (C19).
8. Photographs of the site and surrounds are provided below:



Figure 1: Aerial image of subject site and surrounding area



Figure 2: Site viewed from Hugo Street.

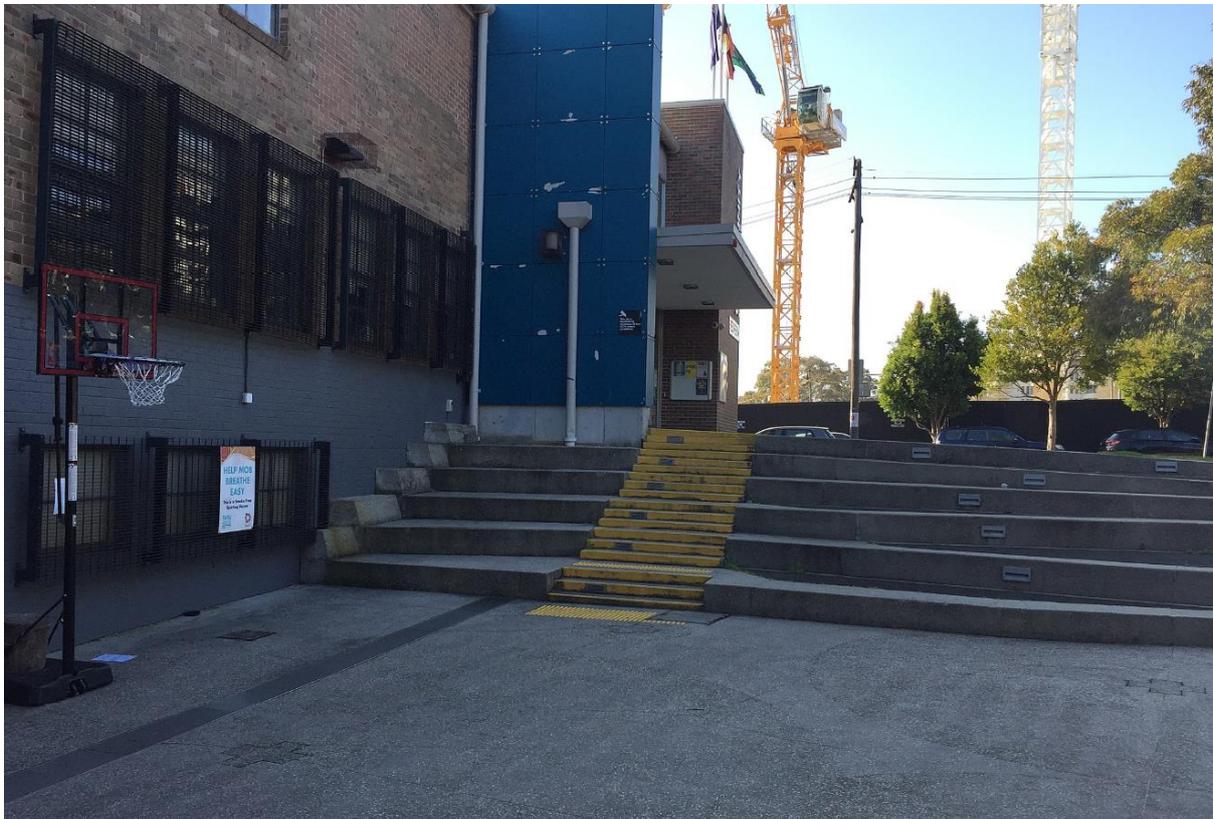


Figure 3: Amphitheatre adjacent to community centre.



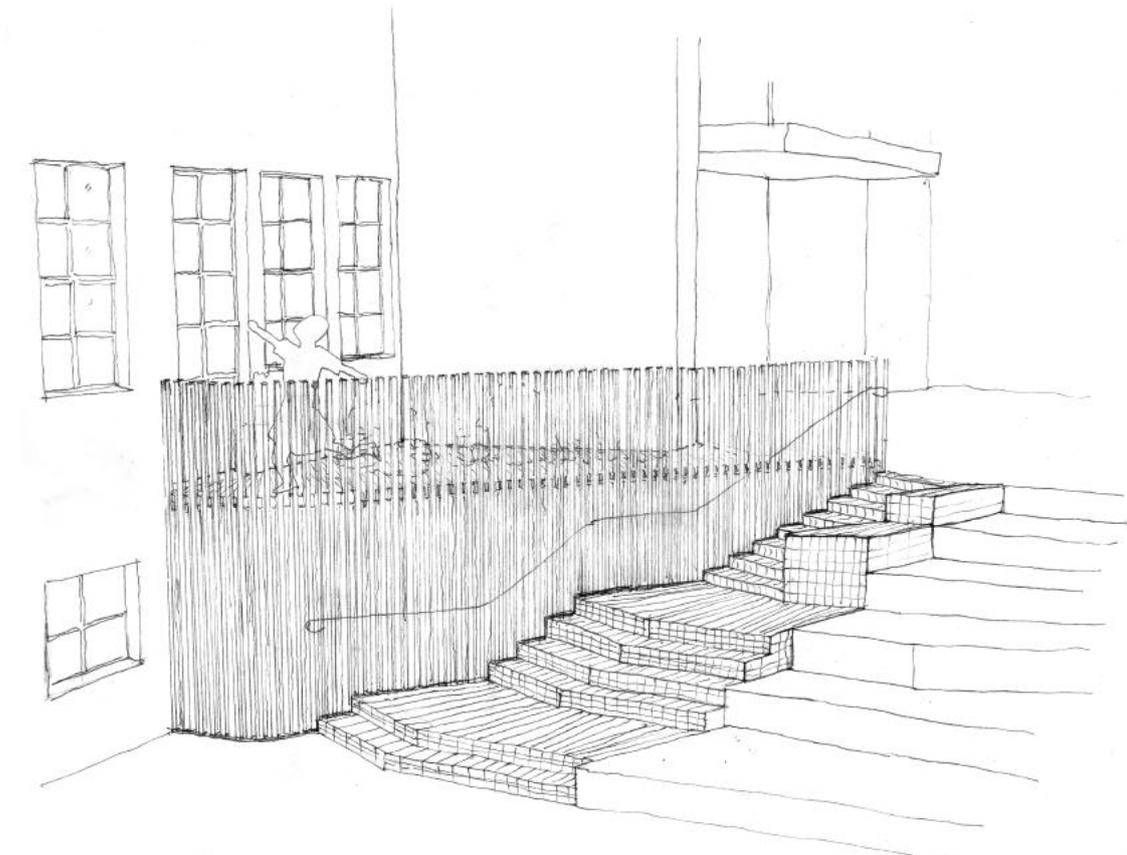
Figure 4: Stairs adjacent to community centre.



Figure 5: Community centre, as viewed from open grass area.

## Proposal

9. The application seeks consent for alterations and additions to the Redfern Community Centre, including:
  - (i) Construction of a new entry bridge between the centre and external play areas, with storage underneath;
  - (ii) Provision of a new door adjacent to the bridge;
  - (iii) Minor changes to the configuration of the amphitheatre steps; and
  - (iv) Reconfiguration of the internal office space.
10. The new works will create a direct public entrance to the child care facility, allowing access from the new deck to the reconfigured internal space.
11. The design scheme was not changed during the assessment, however one set of amended drawings was submitted. These included improved detailing, particularly regarding the scope of demolition works.
12. A sketch and plan of the proposed development are provided below:



**Figure 6:** Sketch of proposed development.

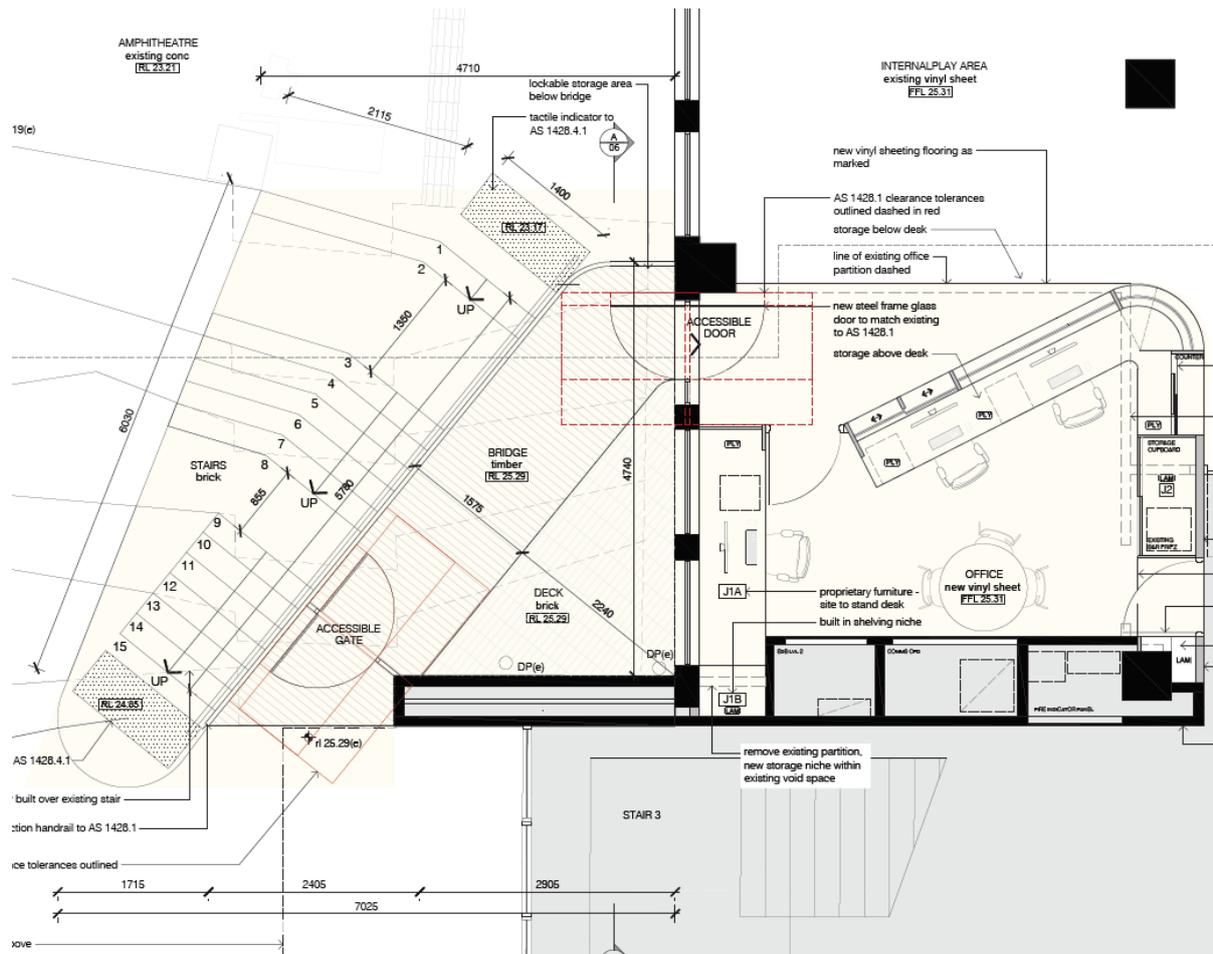


Figure 7: Proposed floor plan.

## History Relevant to the Development Application

13. The following applications are relevant to the current proposal:
  - (a) U02/00461 - Consent dated 4 December 2002 approved alterations and additions to the existing building, allowing its use as a multipurpose community centre.
  - (b) D/2008/173 - Consent dated 22 April 2008 permitted the installation of two shade sails above the existing playground, adjacent to the Redfern Community Centre.
  - (c) D/2010/1315 - Consent dated 20 October 2010 approved the erection of three flag poles.
14. In addition to providing a range of community services, the centre also provides child care services during holiday periods and after school hours. Council advice dated 27 March 2012 confirmed this remained consistent with the approved multipurpose community centre use.
15. The site is also not subject to current compliance action.

**Economic/Social/Environmental Impacts**

16. The application has been assessed under Section 4.15 of the Environmental Planning and Assessment Act 1979, including consideration of the following matters:

- (a) Environmental Planning Instruments and DCPs.

**Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005 (Deemed SEPP)**

17. The site is located within the designated hydrological catchment of Sydney Harbour and is subject to the provisions of the above SREP.

18. The Sydney Harbour Catchment Planning Principles must be considered in the carrying out of development within the catchment. The key relevant principles include:

- (a) protect and improve hydrological, ecological and geomorphologic processes;
- (b) consider cumulative impacts of development within the catchment;
- (c) improve water quality of urban runoff and reduce quantity and frequency of urban run-off; and
- (d) protect and rehabilitate riparian corridors and remnant vegetation.

19. The site is within the Sydney Harbour Catchment and eventually drains into the Harbour. However, the site is not located in the Foreshores Waterways Area or adjacent to a waterway and therefore, with the exception of the objective of improved water quality, the objectives of the SREP are not applicable to the proposed development. The development is consistent with the controls contained within the deemed SEPP.

**State Environmental Planning Policy No 55 — Remediation of Land**

20. The development will involve the partial demolition of the existing concrete stairs in the amphitheatre. This is unlikely to disturb any soil and generate contamination issues.

21. Notwithstanding this, a condition has been recommended to ensure Council is alerted to any unexpected contamination finds during works. This will ensure that appropriate measures can be undertaken if such issues arise.

**State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017**

22. The new works are consistent with relevant matters for consideration under the NSW Child Care Planning Guideline. However, with the exception of the reconfigured office area, the development will not affect existing child care facilities

**Sydney Local Environmental Plan 2012**

23. The site is located within the RE1 zone. The existing building contains both a community facility and centre-based child care facility, which are permissible.

24. The relevant matters to be considered under Sydney Local Environmental Plan 2012 for the proposed development are outlined below.

| <b>Development Control</b> | <b>Compliance</b> | <b>Comment</b>   |
|----------------------------|-------------------|--|
| 4.3 Height of Buildings    | Yes               | No maximum building height is prescribed for the site. All new works are set below the maximum height of the existing building.  |
| 4.4 Floor Space Ratio      | Yes               | No maximum FSR is prescribed for the site. Notwithstanding this, the development will not change the gross floor area of the building.<br><br>The storage area beneath the deck will be covered with timber screening. It is not considered to be fully enclosed and will be subject to weather.<br><br>As such, the space is not considered to comprise gross floor area. |
| 5.10 Heritage conservation | Yes               | The site is located within a heritage conservation area. See discussion under the heading Issues.  |

| <b>Part 6 Local Provisions - Height and Floor Space</b> | <b>Compliance</b> | <b>Comment</b>  |
|---|-------------------|---|
| Division 4 Design excellence                            | Yes               | The proposed development satisfies the requirements of this provision. The scale and design of the new external elements will complement the existing architectural character of the building. It will also create an appropriate interface with the adjoining public open space. |

| <b>Part 7 Local Provisions - General</b>              | <b>Compliance</b> | <b>Comment</b>              |
|---|-------------------|-----------------------------|
| Division 1 Car parking ancillary to other development | Yes               | No car parking is proposed. |

### Sydney Development Control Plan 2012

25. The relevant matters to be considered under Sydney Development Control Plan 2012 for the proposed development are outlined below.

## 2. Locality Statements – Darlington / West Redfern

The subject site is located in the Darlington / West Redfern locality. The proposed alterations and additions are considered to be in keeping with the unique character of the area and its associated design principles. The scale and massing of the existing building will be maintained, ensuring the character of the heritage conservation area is not compromised.

| 3. General Provisions                          | Compliance | Comment  |
|--|------------|--|
| 3.2 Defining the Public Domain                 | Yes        | The stairs and deck will improve the quality of the public domain adjoining the community centre. They will also enhance the legibility of the new building entrance.            |
| 3.5 Urban Ecology                              | Yes        | The proposed development will not involve the removal of any trees and will not adversely impact on local urban ecology.   |
| 3.9 Heritage                                   | Yes        | The existing development is a neutral building in a heritage conservation area. See discussion under the heading Issues.   |
| 3.10 Significant Architectural Building Types  | Yes        | The site contains a former industrial building over 50 years old. The works are sympathetic to the façade, as discussed under the heading Issues.                                |
| 3.12 Accessible Design                         | Yes        | A condition has been recommended for the proposed development to provide appropriate access and facilities for persons with disabilities in accordance with the DCP and the BCA. |
| 3.13 Social and Environmental Responsibilities | Yes        | The proposed development provides adequate passive surveillance and is generally designed in accordance with the CPTED principles.   |
| 3.14 Waste                                     | Yes        | A condition will require all demolition and construction works to comply with the relevant provisions of the City of Sydney Guidelines for Waste Management in New Development.  |

| 4. Development Types<br>4.4 Other development types and uses | Compliance | Comment  |
|--|------------|--|
| 4.4.4 Child Care Centres                                     | Yes        | The proposed works are generally compliant with relevant provisions. The new doorway and associated decking will improve access to the existing facilities, and improve the useability of external spaces. |

## Issues

### Heritage

26. The site is located in a heritage conservation area and is therefore subject to the heritage provisions of this DCP.
27. A former industrial building is contained within the site. It was converted to a community facility in 2004, with a new entrance being constructed on the southern façade. In addition to the external deck, the main change now proposed is the installation of new door to the child care area.
28. This door will match the horizontal proportions of the two adjoining windows, and will therefore be sympathetic to the original appearance of the façade. A Schedule of Materials and Colours was also submitted, and deemed acceptable.

### Other Impacts of the Development

29. The proposed development is capable of complying with the BCA.
30. It is considered that the proposal will have no significant detrimental effect relating to environmental, social or economic impacts on the locality, subject to appropriate conditions being imposed.

### Suitability of the site for the Development

31. The proposal is of a nature in keeping with the overall function of the site. The premises are in a recreational area and will be compatible with surrounding land uses.

### Internal Referrals

32. The conditions of other sections of Council have been included in the proposed conditions.
33. The application was received by the Heritage and Urban Design Specialists, Building Services Unit and Public Domain Unit. They advised that the proposal is acceptable subject to recommended conditions.

## External Referrals

### Notification, Advertising and Delegation

34. In accordance with Schedule 1 of the Sydney DCP 2012, the proposed development is required to be notified. The application was notified for a period of 14 days between 29 July 2019 and 13 August 2019. As a result of this notification a total of 57 properties were notified and there was one submission received. It sought clarification on the proposal, as outlined below:

- (a) It is not clear whether the application proposes just a façade update, or if the scope of the child care centre's outdoor operations will change.

**Response** - The application only seeks consent for alterations to the existing development, with no operational changes being proposed. The adjoining open space will continue to be used as a children's play area.

### Public Interest

35. It is considered that the proposal will have no detrimental effect on the public interest, subject to appropriate conditions being proposed.

### S7.11 Contribution

36. The development is not subject to a S7.11 development contribution as it comprises alterations to an existing building. No change of use or increase in floor area is proposed.

### Relevant Legislation

37. The Environmental Planning and Assessment Act 1979.

### Conclusion

38. The application seeks consent for alterations and additions to the Redfern Community Centre, including:

- (a) Construction of new entry bridge;
- (b) Provision of new door adjacent to bridge;
- (c) Minor changes to amphitheatre steps; and
- (d) Reconfiguration of internal office space.

39. The proposed development is compatible with the character of the heritage conservation area, and will be sympathetic to the former industrial building on the site.

40. It will also support the existing community uses on the site, particularly improving the amenity and functionality of the child care facility.
41. It is considered that the proposed development complies with relevant provisions of the Sydney LEP 2012 and Sydney DCP 2012, and should be approved subject to recommended conditions of consent.

**GRAHAM JAHN, AM**

Director City Planning, Development and Transport

Lyle Tamlyn, Planner